

RADON: A Homebuyer's Guide



Radon is an odorless, invisible gas that is generated as radioactive minerals in the ground break down. This gas comes up through the soil and can enter homes through cracks in building foundations. Exposure to high levels of radon increases the risk of developing lung cancer. Nearly one out of every 15 homes in the United States is estimated to have an elevated radon level (4pCi/L).



What is there to know before buying?



If you are considering buying a home, the EPA recommends that you have it tested for radon. Since you cannot see, smell, or taste radon, testing is the only way to find out your home's radon levels. Because radon levels vary from home to home, it is critical to measure the radon level in a potential home and not rely on other test results in the neighborhood.

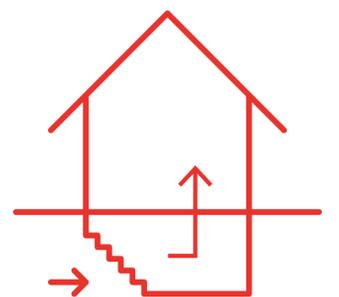
What if the home has already been tested?

You may decide to accept the results of an earlier test that was done on the home. Sellers are required to disclose to buyers if a test revealed the home has high levels of radon. You can also choose to have a new test conducted by a qualified radon tester. If you do plan to accept the seller's test results, be sure to ask:

- 01 Where the test was done and who conducted it.
- 02 If any structural changes have been made to the home following the test.

What if the home has not been tested for radon?

Make sure a radon test is conducted as soon as possible! You may choose to conduct a radon test as part of the inspection process to determine whether radon mitigation is needed. Ensure the test is done in the lowest level of the home that you will use regularly, including a basement level. If high levels of radon are found, you may ask the seller to install a radon mitigation system before you close on the home. To find a list of qualified radon service providers, contact your state radon program.



What if the results come back high?

If radon test results are 4pCi/L or higher, it is a good idea to take steps to reduce levels. If mitigation is necessary, discuss with the seller the timing and who will cover the costs of radon reduction. Be sure to discuss with your real estate team and lawyer to ensure this is included in the home-buying contract. The cost of mitigation may depend on the age and size of the home. You can get an estimate on mitigation systems from any qualified mitigator.

Want to find out more about radon?

Visit <https://www.epa.gov/radon/home-buyers-and-sellers-guide-radon>